

**765
NORTH
MOUNTAIN
ROAD
POOL**

765 NORTH MOUNTAIN ROAD
GARDINER, NY 12525

KUSHNER studios
390 BROADWAY
4TH FLOOR
NEW YORK CITY
10013

212.965.0914
F.: 212.965.0649
E.: INFO@KUSHNERSTUDIOS.COM
W.: WWW.KUSHNERSTUDIOS.COM

CLIENT:
ADAM KUSHNER
LOUISE CHUU
T: 212.965.0914

EXPEDITER:
KUSHNER studios
390 Broadway 4th Fl
New York, NY
10013
T: 212.965.0914
F: 212.965.0649

GENERAL CONTRACTOR:
IN HOUSE GROUP, INC.
390 Broadway 4th Fl
New York, NY
10013
T: 212.965.0917
F: 212.965.0649

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KUSHNER studios

Proposed Ftg. Table

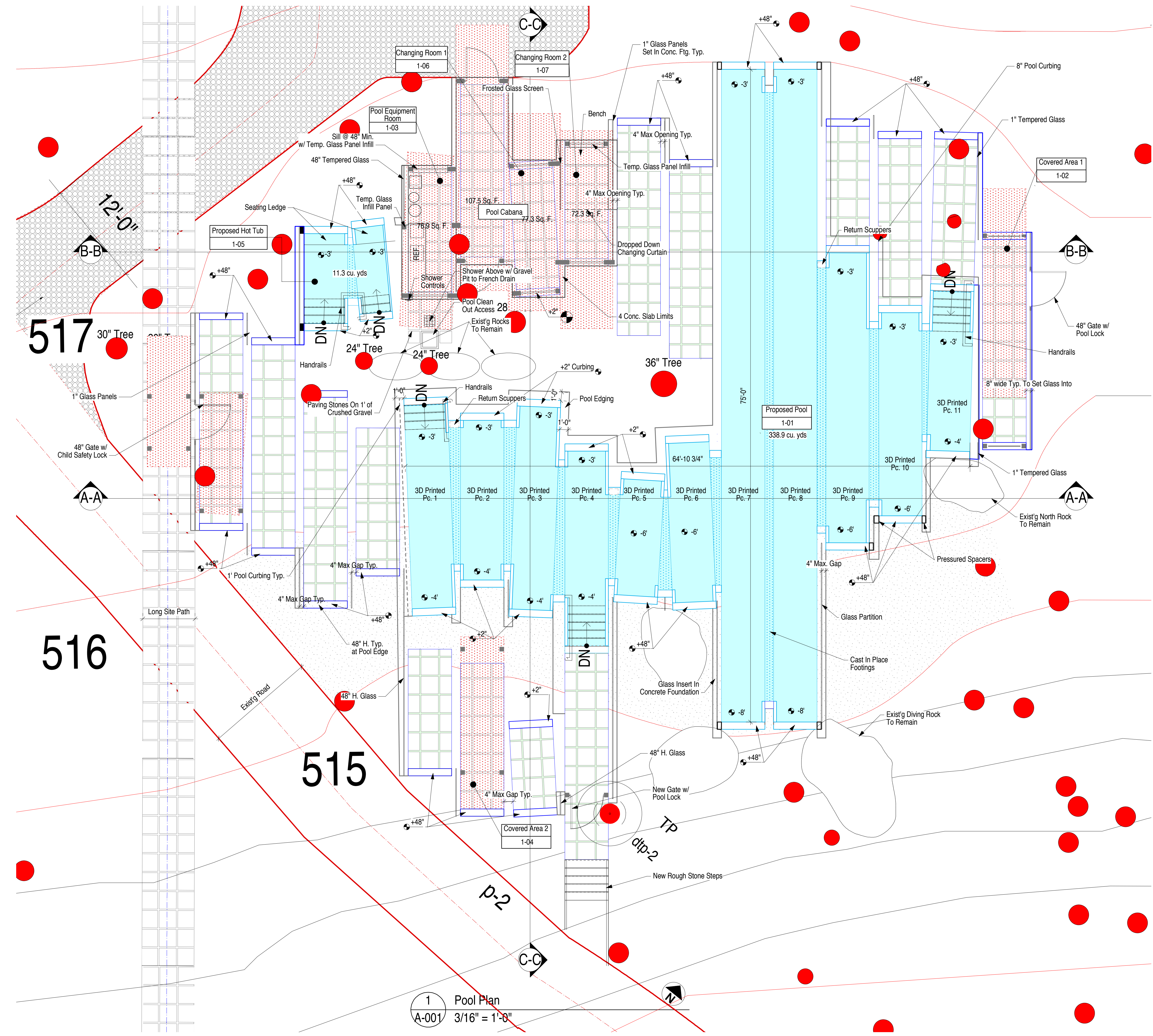
1-01 Pool Area	1,903.4
1-02 Covered Area	0
1-03 Pool Equipment Room	72.3
1-04 Covered Area	0
1-05 Hot Tub Area	101.8
1-06 Changing Room	77.3
1-07 Changing Room	76.9
Total Enclosed Square Footage	2,231.7 Square Feet

Legend

	Roof
	Covered Interior Space
	2x2 Pervious Concrete Pavement on Compacted Soil
	In-fill from Excavation

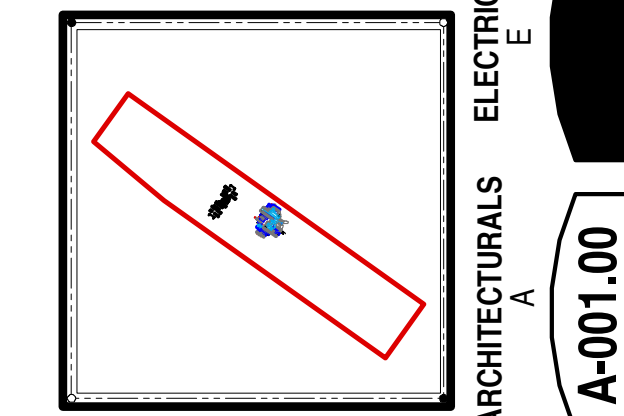
LEGEND

	EXISTING CONTOURS
	NEW CONTOURS
	DEMO CONTOURS
	EXCAVATED AREA
	EXISTING TREES
	SEWER CONNECTION
	NATURAL GAS LINE
	SETBACKS
	WETLANDS SETBACKS
	REMOVING TREES
	EXISTING PLANTINGS



1 Pool Plan
A-001 3/16" = 1'-0"

ISSUE	For D.O.B. Submittal	RISER	RR
REV. #:	1	SCHEDULES	X
DATE:	2.1.14	ELECTRICAL	E
		ARCHITECTURALS	A
		DEMOLITION	D
		ZONING	Z
		NOTES	N



POOL PLAN

JOB #:	106R13
SCALE:	As-Noted
DATE:	01.24.14
# OF DRAWINGS:	5 of 8

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F: 212.965.0649

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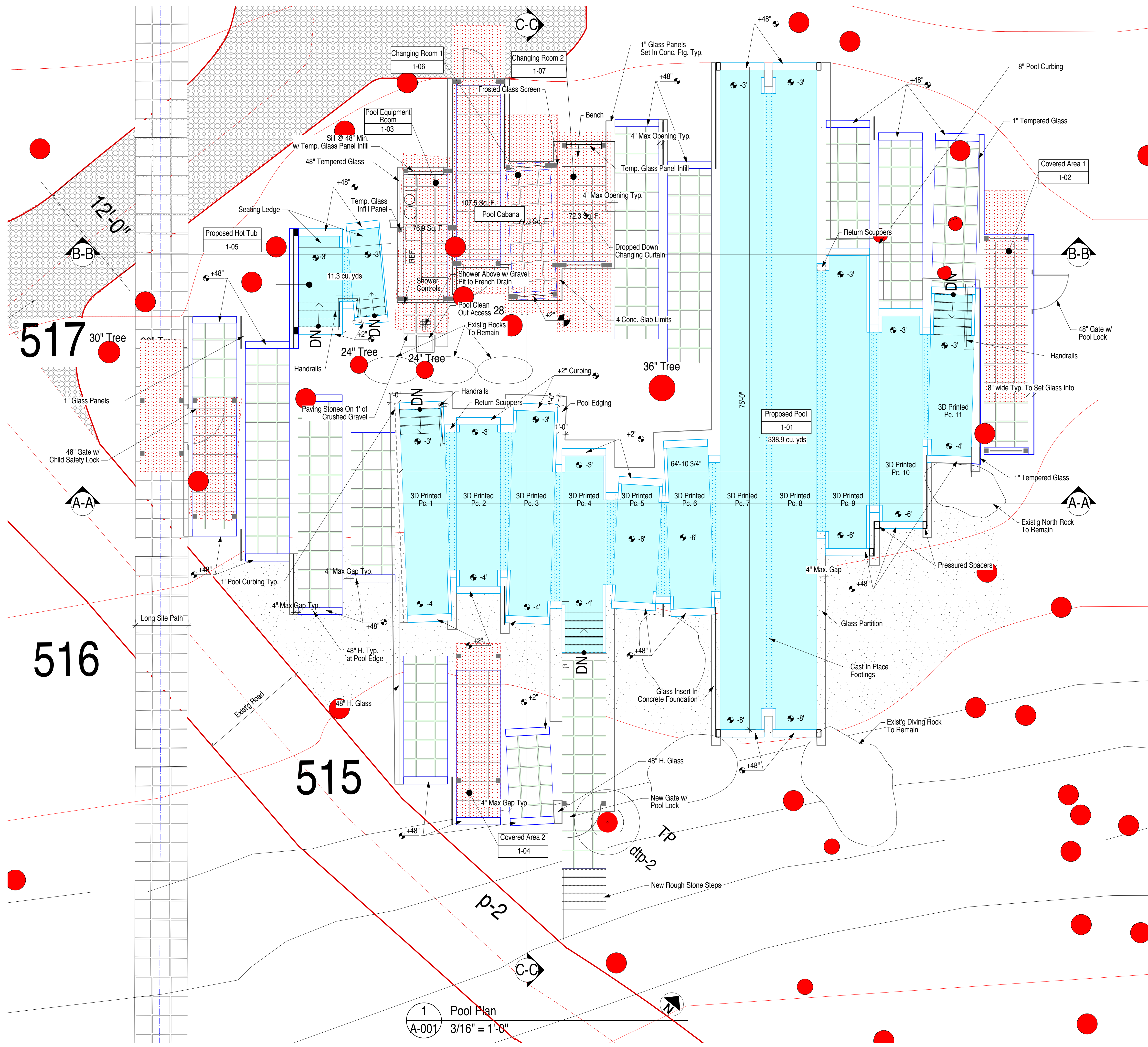
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Proposed Ftg. Table	
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	Roof
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	2x2 Pervious Concrete Pavement on Compacted Soil
	In-fill from Excavation

LEGEND	
	EXISTING CONTOURS
	NEW CONTOURS
	DEMO CONTOURS
	EXCAVATED AREA
	EXISTING TREES
	SEWER CONNECTION
	NATURAL GAS LINE
	SETBACKS
	WETLANDS SETBACKS
	REMOVING TREES
	EXISTING PLANTINGS



1 Pool Plan
A-001 3/16" = 1'-0"

DATE	REV. #	ISSUE
2.1.14	1	For D.O.B. Submittal

DATE	REV. #	ISSUE
2.1.14	1	For D.O.B. Submittal

DATE	REV. #	ISSUE
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JOB #	SCALE	DATE	# OF DRAWINGS
106R13	As Noted	01.24.14	5 of 8

POOL PLAN

NOTES	ZONING	DEMOLITION	ARCHITECTURALS	ELECTRICAL	SCHEDULES	RISER
	Z	D	A	E	X	RR

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Proposed Ftg. Table

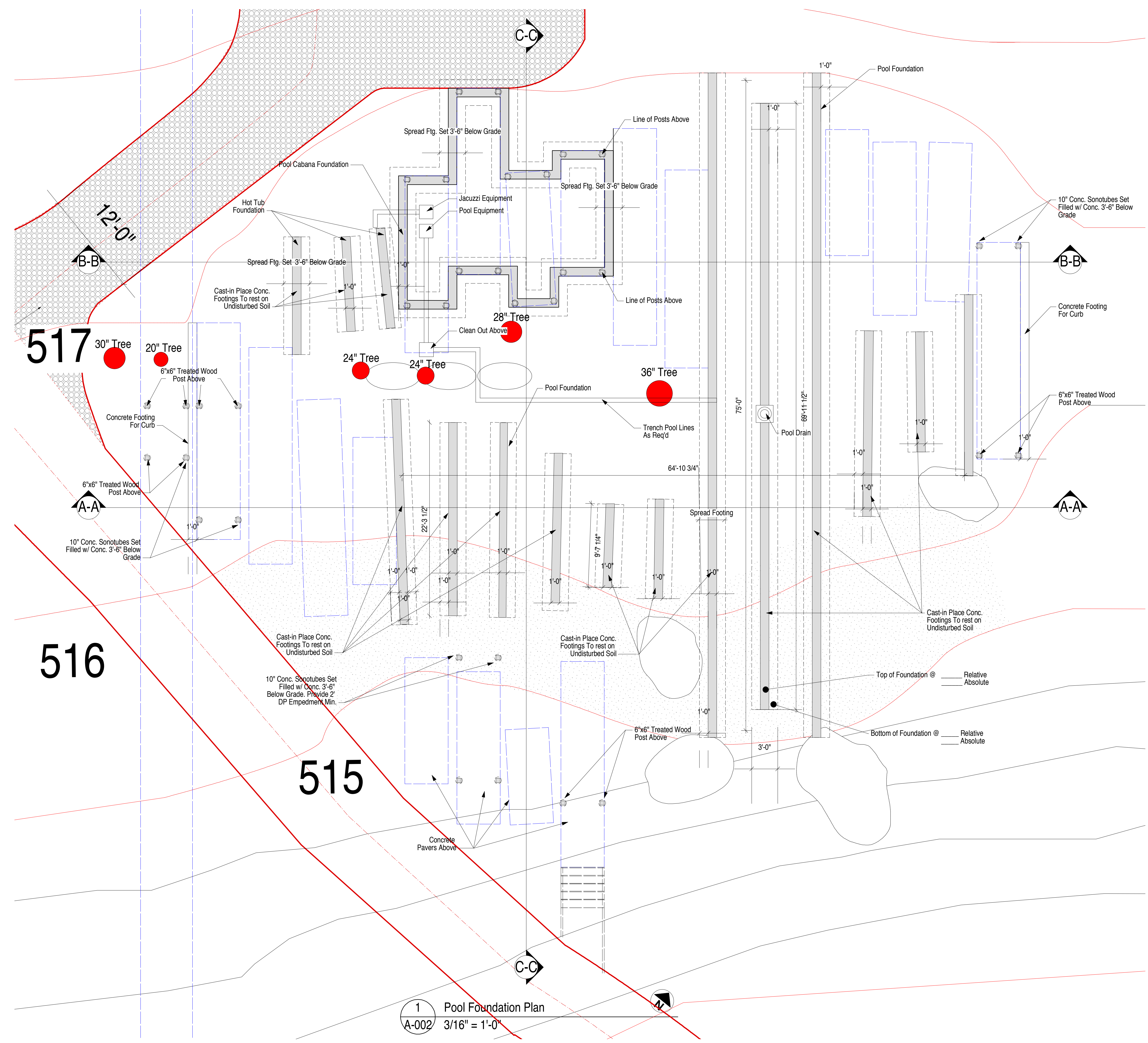
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- In-fill from Excavation

LEGEND

- EXISTING CONTOURS
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- DEMO CONTOURS
- EXCAVATED AREA
- EXISTING TREES
- SEWER CONNECTION
- NATURAL GAS LINE
- SETBACKS
- WETLANDS SETBACKS
- REMOVING TREES
- EXISTING PLANTINGS



1 Pool Foundation Plan
A-002 3/16" = 1'-0"

ISSUE

ISSUE	For D.O.B. Submittal
REV. #:	1
DATE:	2.1.14

ARCHITECTURALS **ELECTRICAL** **DEMOLITION** **ZONING** **NOTES** **RISER** **SCHEDULES** **A-002.00**

JOB #: 106R13
SCALE: As Noted
DATE: 01.24.14
OF DRAWINGS: 6 of 8

POOL FOUNDATION PLAN

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ADAM KUSHNER
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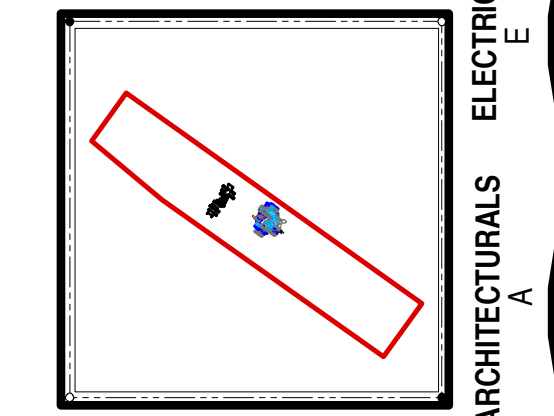
EXPEDITER:
KUSHNER studios
390 Broadway 4th Fl
New York, NY
10013
T: 212.965.0914
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390 Broadway 4th Fl
New York, NY
10013
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DATE	REV. #	ISSUE
2.1.14	1	For D.O.B. Submittal

JOB #	SCALE	DATE	# OF DRAWINGS
106R13	As Noted	01.24.14	2 of 8

DEMOLITION PLAN

NOTES N

ZONING Z

DEMOLITION D

ARCHITECTURALS A

ELECTRICAL E

SCHEDULES X

RISER RR

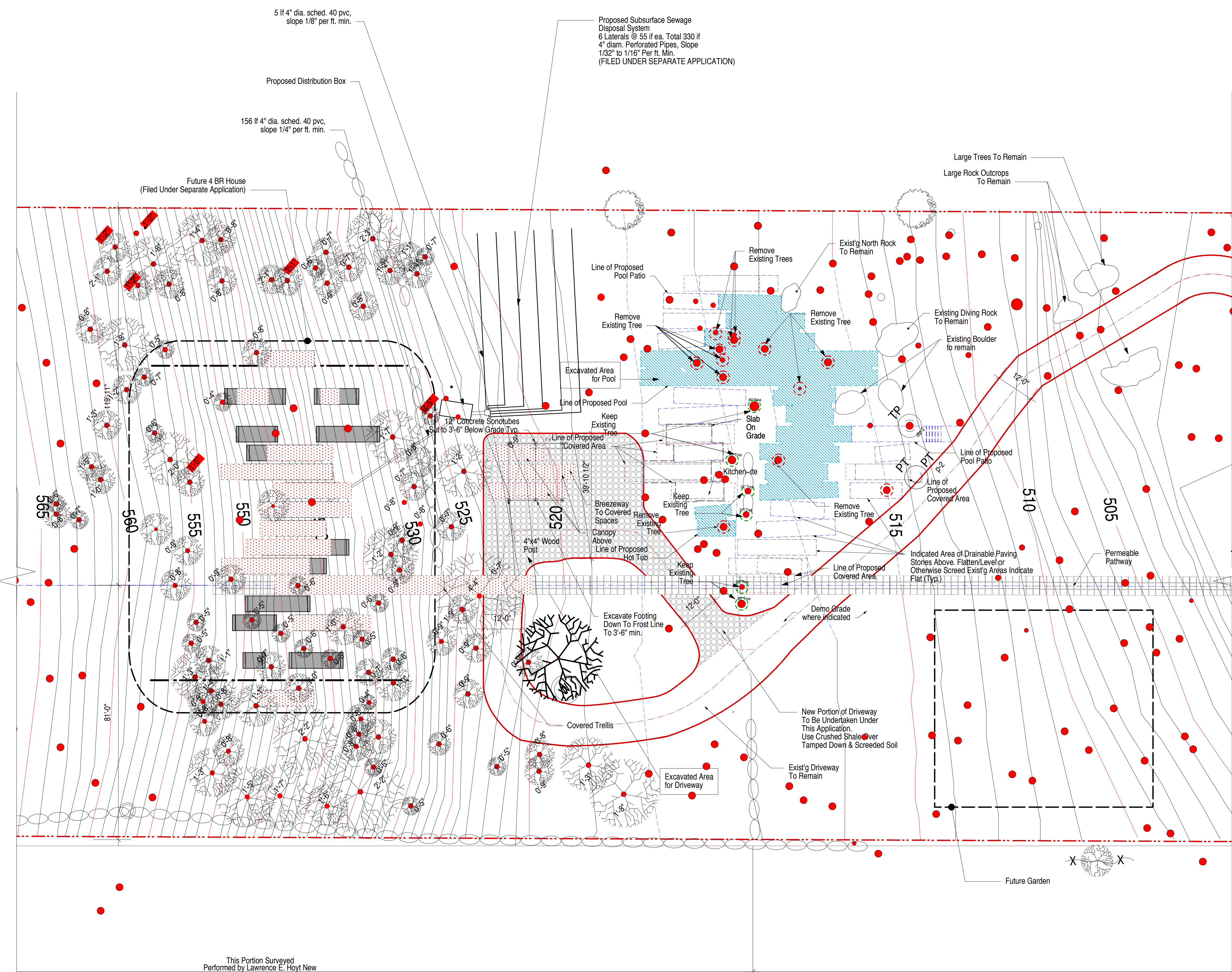
D-001.00

Legend

- Roof
- Covered Interior Space
- 2x2 Pervious Concrete Pavement on Compacted Soil
- In-fill from Excavation

LEGEND

- EXISTING CONTOURS
- NEW CONTOURS
- DEMO CONTOURS
- EXCAVATED AREA
- EXISTING TREES
- SEWER CONNECTION
- NATURAL GAS LINE
- SETBACKS
- WETLANDS SETBACKS
- REMOVING TREES
- EXISTING PLANTINGS



This Portion Surveyed
Performed by Lawrence E. Hoyt New
Jersey Professional Land Surveyor No.
34005 for George F. & Eliza C. Smith Oct.
8, 2002

1 Site Demolition Plan
1/16" = 1'-0"

Notes:
1. Pool excavation will require ±210 cu. yds. of soil removal & Hot Tub excavation will require 9 cu. yds of soil removal. We will utilize ±80.66 cu. yds. in-fill on immediate site & remainder to be distributed through remainder of parcel. No soil will be taken off site.
2. All to be removed trees to be verified w/ owner prior to removal. All stumps to be pulled out of soil.

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10013

212.965.0914
F.: 212.965.0649
E.: INFO@KUSHNERSTUDIOS.COM
W.: WWW.KUSHNERSTUDIOS.COM

KUSHNER studios

CLIENT:
ADAM KUSHNER
LOUISE CHUU
T: 212.965.0914

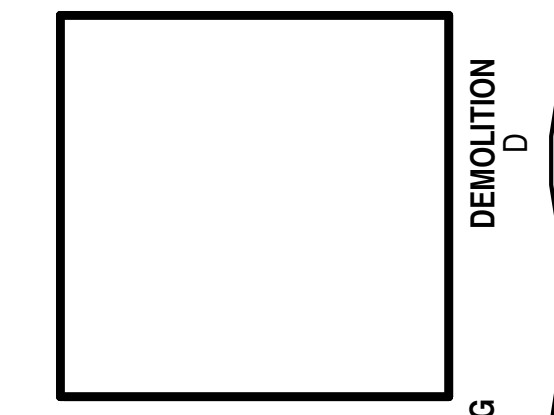
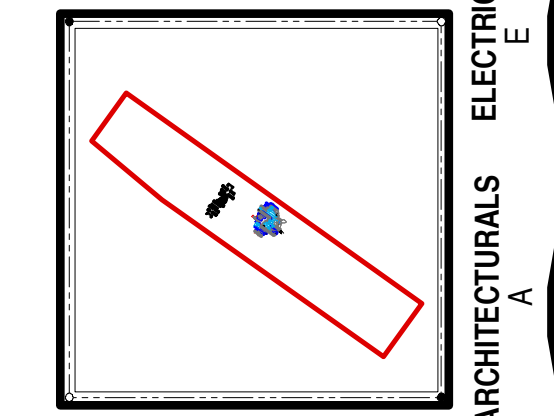
EXPEDITER:
KUSHNER studios
390 Broadway 4th Fl
New York, NY
10013
T: 212.965.0914
F: 212.965.0649

GENERAL CONTRACTOR:
IN HOUSE GROUP, INC.
390 Broadway 4th Fl
New York, NY
10013
T: 212.965.0917
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DATE	REV. #	ISSUE
2.1.14	1	For D.O.B. Submittal



JOB #	SCALE	DATE	# OF DRAWINGS
106R13	As Noted	01.24.14	3 of 8

SITE PLAN

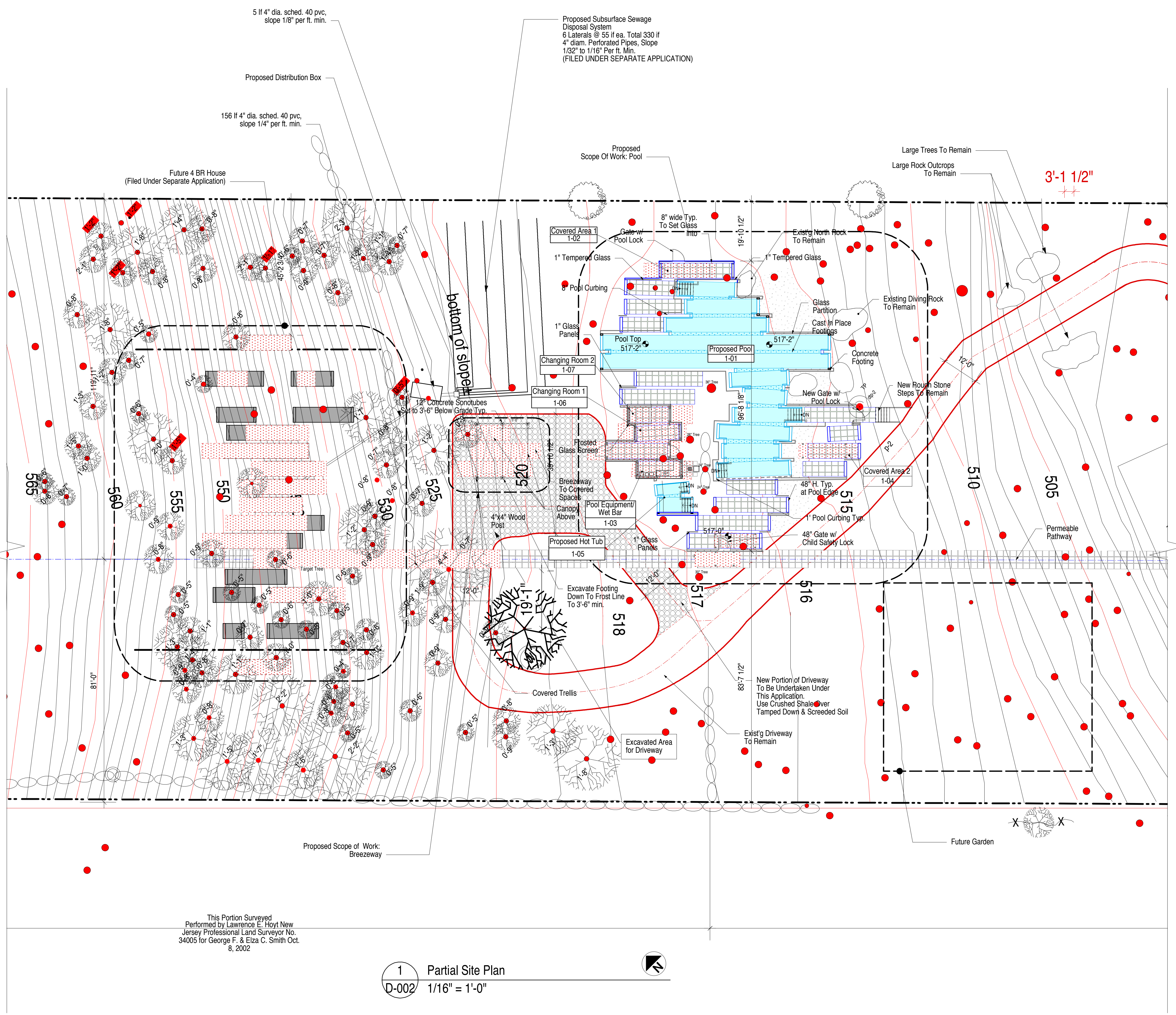
NOTES
ZONING
DEMOLITION
ARCHITECTURALS
ELECTRICAL
SCHEDULES
RISER

Legend

- Roof
- Covered Interior Space
- 2x2 Pervious Concrete Pavement on Compacted Soil
- In-fill from Excavation

LEGEND

- EXISTING CONTOURS
- NEW CONTOURS
- DEMO CONTOURS
- EXCAVATED AREA
- EXISTING TREES
- SEWER CONNECTION
- NATURAL GAS LINE
- SETBACKS
- WETLANDS SETBACKS
- REMOVING TREES
- EXISTING PLANTINGS



This Portion Surveyed
Performed by Lawrence E. Hoyt New
Jersey Professional Land Surveyor No.
34005 for George F. & Elza C. Smith Oct.
8, 2002

1 Partial Site Plan
D-002 1/16" = 1'-0"



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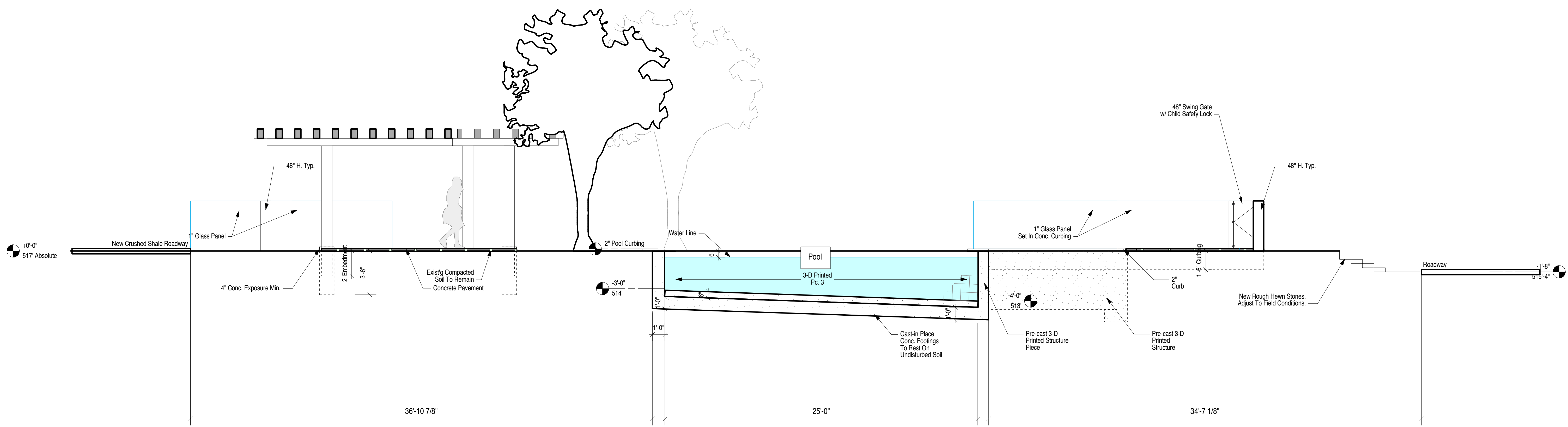
CLIENT:
ADAM KUSHNER
LOUISE CHUU
T: 212.965.0914

EXPEDITER:
KUSHNER studios
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T: 212.965.0914
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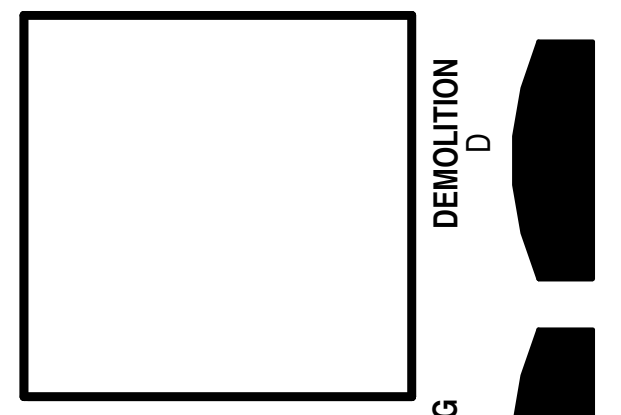
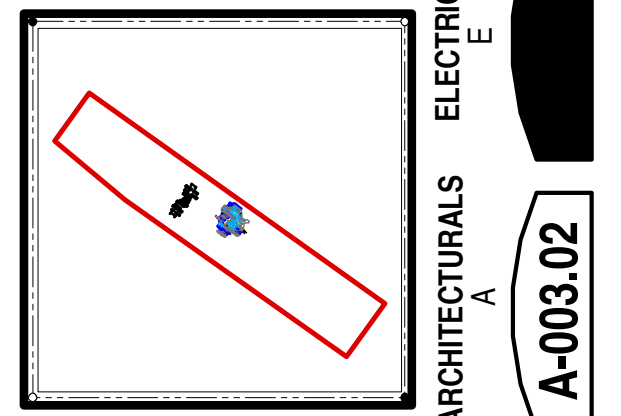
1 Pool Detail/Section C-C
D-003 1/4" = 1'-0"

- Notes:**
- All surfaces to be treated with a 20 year waterproof impregnator.
 - All 3-D Printed Pieces To Be Cast-In-Place On Site Using A Non-Toxic Binding Resin.

Legend

- Roof
- Covered Interior Space
- 2x2 Pervious Concrete Pavement on Compacted Soil
- In-fill from Excavation

DATE:	REV. #:	ISSUE
2.1.14	1	For D.O.B. Submittal



JOB #:	SCALE:	DATE:	# OF DRAWINGS:
106R13	As Noted	01.24.14	8 of 8

POOL SECTION/DETAIL

NOTES N
ZONING Z
DEMOLITION D
ARCHITECTURALS A
ELECTRICAL E
SCHEDULES X
RISER RR
A-003.02

KUSHNER studios
390 BROADWAY
4TH FLOOR
NEW YORK CITY
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F.: 212.965.0649
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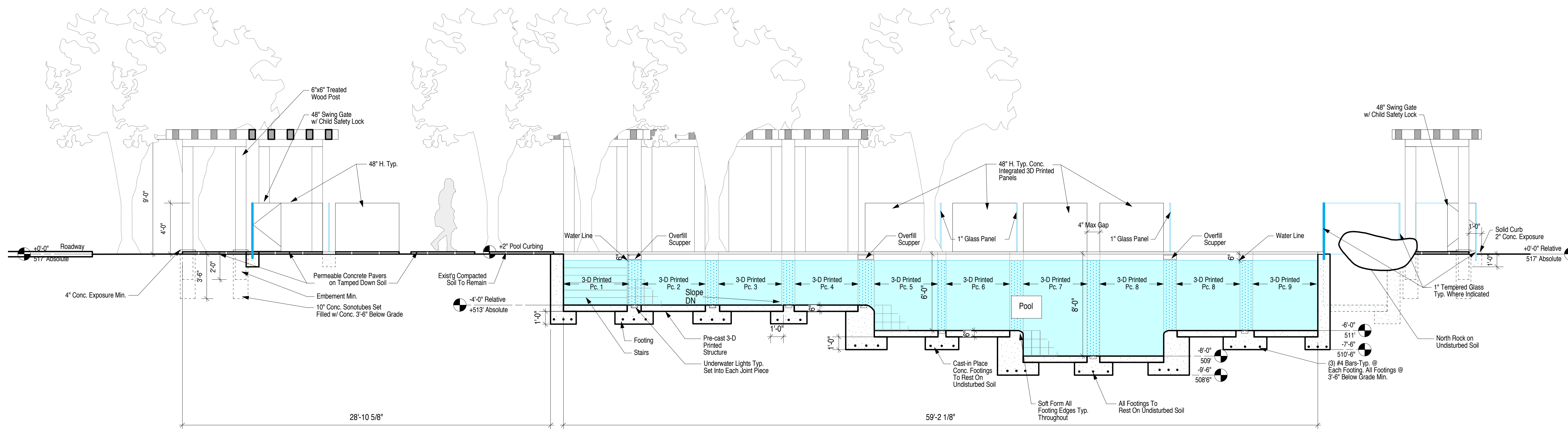
CLIENT:
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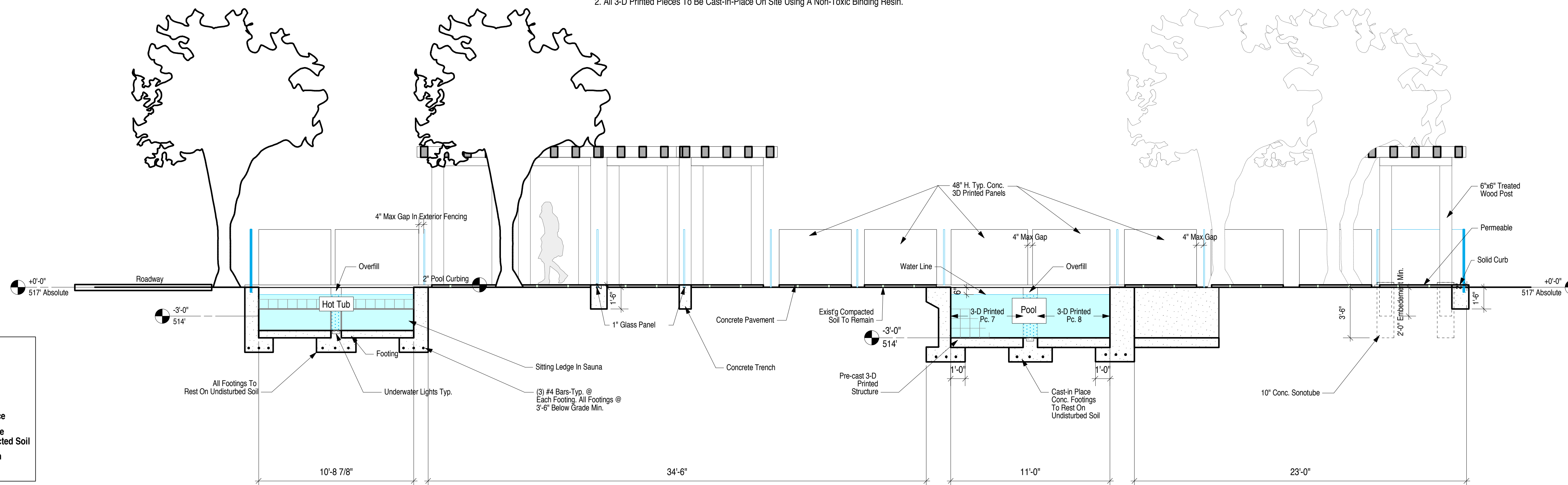
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1 Pool Detail/Section A-A
D-003 1/4" = 1'-0"

- Notes:**
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 - All 3-D Printed Pieces To Be Cast-In-Place On Site Using A Non-Toxic Binding Resin.



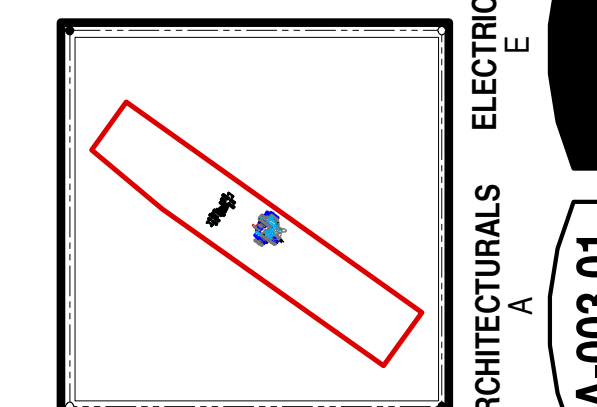
2 Pool Detail/Section B-B
D-003 1/4" = 1'-0"

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Legend

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ISSUE	REV. #:	DATE:	DESCRIPTION	ISSUED BY
	1	2.1.14	For D.O.B. Submittal	



ARCHITECTURALS	ELECTRICAL	DEMOLITION	ZONING
A	E	D	Z

JOB #:	SCALE:	DATE:	# OF DRAWINGS:
106R13	As Noted	01.24.14	7 of 8

POOL SECTION/DETAIL

NOTES N

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ARCHITECTURALS	ELECTRICAL	SCHEDULES	RISER
A	E	X	RR

DEMOLITION	ZONING
D	Z

JOB #	SCALE	DATE	# OF DRAWINGS
106R13	As Noted	01.24.14	4 of 8

EXCAVATION PLAN

NOTES

Cut & Fill Calculations:

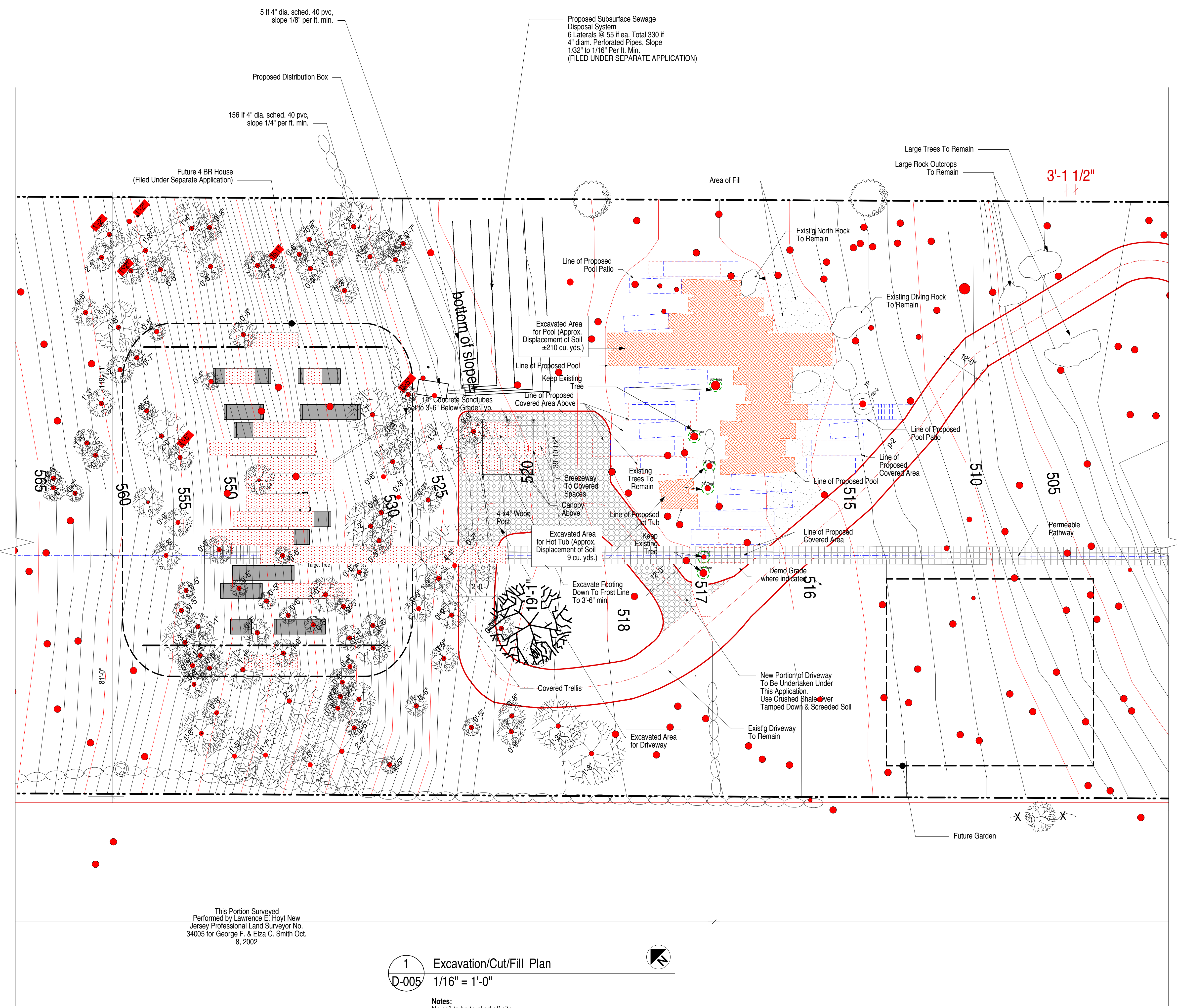
Pool Excavation	= ±210	cu. yds. est.
Hot Tub Excavation	= 9	cu. yds. est.
Total Excavation	= ±219	cu. yds. est.
Fill	= 80.3	cu. yds. est.
Difference	= 138.8	cu. yds. To Be Distributed Throughout The Site

Legend

- Roof
- Covered Interior Space
- 2x2 Pervious Concrete Pavement on Compacted Soil
- In-fill from Excavation

LEGEND

- EXISTING CONTOURS
- NEW CONTOURS
- DEMO CONTOURS
- EXCAVATED AREA
- EXISTING TREES
- SEWER CONNECTION
- NATURAL GAS LINE
- SETBACKS
- WETLANDS SETBACKS
- REMOVING TREES
- EXISTING PLANTINGS



This Portion Surveyed
Performed by Lawrence E. Hoyt New
Jersey Professional Land Surveyor No.
34005 for George F. & Elza C. Smith Oct.
8, 2002

1 Excavation/Cut/Fill Plan
D-005 1/16" = 1'-0"

Notes:
No soil to be trucked off site.

765 NORTH MOUNTAIN ROAD

765 NORTH MOUNTAIN ROAD
GARDINER, NY 12525

765
NORTH
MOUNTAIN
ROAD
POOL

765 NORTH MOUNTAIN ROAD
GARDINER, NY 12525

KUSHNER studios
390 BROADWAY
4TH FLOOR
NEW YORK CITY
10013

212.965.0914 F: 212.965.0649
E: INFO@KUSHNERSTUDIOS.COM
W: WWW.KUSHNERSTUDIOS.COM

CLIENT:
ADAM KUSHNER
LOUISE CHIU
T: 212.965.0914

EXPEDITER:
KUSHNER studios
390 Broadway 4th Fl
New York, NY
10013
T: 212.965.0914
F: 212.965.0649

GENERAL CONTRACTOR:
IN HOUSE GROUP, INC.
390 Broadway 4th Fl
New York, NY
10013
T: 212.965.0917
F: 212.965.0649

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General Site Plan Notes

Note: These 'General Site Notes' come with Redniss & Meade Survey dated

1. This property is shown as Lot 12 on Map 6451 G.L.R. signed by the planning and zoning commission in August of 1988.
2. Total Area = 4.902 Acres
3. Elevations shown are based on N.G.V.D.-1929 Datum
4. Property is in SP-1 Zone
5. Property to be served by public water and sewer
6. All roof drainage from existing house to be piped to the drainage system located in the Northwest driveway area as shown. Restore existing terrace and landscaping as needed.
7. All P.V.C. to be SDR 35 Class with push on Rubber joints.
8. All Piping to be done in accordance with applicable codes and regulations.
9. Maintain at least 3.5' of cover on sanitary service line. Match invert of sanitary pipe with pipe exiting building. Verify elevation of receiving sewer and location of Wye provided prior to construction. Notify design engineer if deviations from elevations called for are needed.
10. All utilities shall be installed underground in accordance with the requirements of the corresponding utility company.
11. Refer to detail sheet for orientation map.
12. The limit of wetlands was flagged by Northeast soils, inc. on Oct. 7, 1989. Flags were located by Parsons Bromfield-Redness and Mead on October 11, 1989.
13. Retaining walls designed with required railing shall be designed and reviewed by the building department prior to construction. Walls to be designed so no load bears on footing drain.
14. Water, gas, electric and telephone services for the poolhouse shall run between the New Poolhouse and existing streetside service.
15. There will be approximately cubic yards of fill needed and approximately cubic yards of cut with a net fill of approximately cubic yards.
16. The pool equipment will be located in the machine area indicated. A dry well for the pool filter will not be added.
17. Fence to be installed where shown and atop walls as required by code.

Site Demolition Notes.

1. Demo all Boulders, Rocks and Stones that fall within the given scope of work. All non-biodegradable excavations to be carted away.
 2. Architect reserves the right to store all Boulders, Stones, and Rocks greater than 2 cubic feet in volume on site and/ or incorporate into final scope of work.
 3. All Tree's to be demo'd that fall within the Scope of Work to have stumps removed to below proposed scope of work.
 4. G.C. notify Architect Immediately of any subsurface conditions that differ from those assumed here.
 5. A. G.C. to provide an allowance for Demolition and Re-installation of 50' Linear feet of sprinkler line and four sprinkler heads to match existing
 6. B. G.C. to provide an allowance for Demolition and Re-installation of +/- 100' of Sanitary line and 3 cleanouts.
 7. C. B. G.C. to provide an allowance for Demolition and Re-installation of +/- 100' of Natural Gas Line.
- The above should be Demo'd and reinstalled in a safe and industry accepted manner. All 3 systems to be demo'd and reinstalled to existings systems.

Site Plan-General Notes

1. Provide the following landscaping provisions:

Lawn:

4" graded and raked topsoil w/ seed to match adjacent existing wherever existing soil conditions have been disturbed due to excavation, demolition, probing, etc.

Foundation Plantings:

2'3" tall flowering deciduous shrubs; 1 1/2' spread or 2 1/2-3' tall needle and/or broad-leaved flowering evergreen shrubs, planted in edged, mulched beds w/ appropriate fertilizers and soil additives, where indicated on plan; and hedges, where indicated on plan.

Ornamental Tree (N.I.C.):

1- 6 to 8' flowering Tree

2. Grade all land to provide clear drainage away from existing foundation wall.

Demolition Notes

1. All new openings in existing Walls to be demolished to the minimum distance as set forth in the Floor Plans.
 2. Where partitions have been removed, patch and repair existing Flooring to match existing adjacent flooring. (Exception: Where new flooring over Existing is specified, Block flooring to provide level workable surface.)
 3. Where Walls have been removed that have butted into existing walls/surfaces, patch and repair Existing Walls to match existing adjacent surface.
 4. All Materials, Fixtures, Appliances and Cabinetry, etc. to be removed and saved for Future Use to be stored in a dry, secure manner on site.
 5. Where existing partitions are to be demolished, provide new flooring to match adjacent existing.
 6. Where Electrical Outlets, Fixtures, Switches, etc are to be demolished and additional work will effect the given area, leave wall in a preparatory state for future work. Where no further work is to be undertaken, patch and repair demolished wall/surface to match adjacent existing areas/surfaces.
 7. Where Existing Base is to be removed, leave area of base in a smooth workable state.
 8. Where existing walls are to be removed, patch and repair floor. If area exposed is subject to new Scope of Work, patch with plywood, flush to existing adjacent surface. If no new work is to be done, infill exposed area with flooring to match adjacent existing. Finish to match adjacent existing.
 9. All Exist. walls to be demolished. Leave electrical, plumbing or HVAC runs/buses/risers exposed to be capped or rerouted as req'd. Notify Architect of any conditions that appear that are not included within the enclosed scope of work.
 10. Where lighting is indicated in existing slabs: chop slabs as required; verify w/ architect and building management prior to proceeding.
 11. Excavated soil that is not used as new topography on site will be disposed of at an upland or off site location.
- Note: Temporarily cap all electrical lines, switches, and outlets, etc. that fall within the proposed scope of work.
- Note: Temporarily cap and reroute all plumbing, heating, and hvac lines that fall within the proposed scope of work.

LEGEND

EXISTING WALLS	
DEMOL/VERIFY ACTIVITY	
NEW CONSTRUCTION	
BUILT-IN/CASEWORK	
EXISTING TO BE RELOCATED	
PLUMBING	
ELECTRICAL	
PLAN DETAIL	
INTERIOR ELEVATION	
BUILDING SECTION	
DOOR NUMBER (NEW DOOR)	
WINDOW NUMBER	
INDICATES ROOM NAME	
ROOM NUMBER	
WALL TYPE	
EMERGENCY EXIT LIGHTING	
EXIT SIGN	
3-FIXTURE EMERGENCY EXIT LIGHTING	

Wall Types

- Laminate Wall**
5/8" GWB type X laminated to existing Structure/Masonry Wall. Spackle [3] Coats, Pt. [2 coats min.] and/or finish as indicated. Use USG approved glue and/or USG approved fasteners.
- Water Resistant Wall**
5/8" Wondertboard for approved equal) applied or laminated to existing studs and/or masonry wall. Spackle [3] Coats, Pt. [2 coats min.] and/or finish as indicated. Use USG approved glue and/or USG approved fasteners.
- Furred Wall**
One layer 5/8" GWB wallboard type X applied to one side of 3 5/8" metal furring Channel (20 Gauge) 16" o.c. with 1" type S drywall screws 8" o.c. to vertical edges, and 12" o.c. to intermediate studs. Spackle [3] Coats, Pt. [2 coats min.] and/or finish as indicated. SIM: Use 5 5/8" Metal Studs. Use USG approved glue and/or USG approved fasteners.
- 2x3 Partition**
One layer 5/8" GWB type X applied to each side of 2 5/8" x 1 5/8" metal studs 16" o.c. with 1" type S drywall screws 8" o.c. to vertical edges, and 12" o.c. to intermediate studs. Spackle [3] Coats, Pt. [2 coats min.] and/or finish as indicated. Use USG approved glue and/or USG approved fasteners.
Sim 1: 2-Hr. Partition: Provide 2 layers of 5/8" GWB Typ. for each side. UL #411
- 2x4 Partition**
One layer 5/8" GWB wallboard type X applied to each side of 3 5/8" metal studs 16" o.c. with 1" type S drywall screws 8" o.c. to vertical edges, and 12" o.c. to intermediate studs. Spackle [3] Coats, Pt. [2 coats min.] and/or finish as indicated. Use USG approved glue and/or USG approved fasteners.
Sim 1: 2-Hr. Partition: Provide 2 layers of 5/8" GWB Typ. for each side. UL #403
- 2x6 Partition**
One layer 5/8" GWB wallboard type X applied to each side of 5 5/8" metal studs 16" o.c. with 1" type S drywall screws 8" o.c. to vertical edges, and 12" o.c. to intermediate studs. Spackle [3] Coats, Pt. [2 coats min.] and/or finish as indicated. Use USG approved glue and/or USG approved fasteners.
Sim 1: 2-Hr. Partition: Provide 2 layers of 5/8" GWB Typ. for each side. UL #403
- Pocket Door Assembly**
One layer 5/8" GWB wallboard type X applied to each side of 5 5/8" metal studs 16" o.c. with 1" type S drywall screws 8" o.c. to vertical edges, and 12" o.c. to intermediate studs. Spackle [3] Coats, Pt. [2 coats min.] and/or finish as indicated. Use USG approved glue and/or USG approved fasteners.
Sim 1: 2-Hr. Partition: Provide 2 Layers of 5/8" GWB Typ. for each side. UL #403
- Chase Wall**
Interior 2x4 pipe chase. 2x4 studs on edge as req'd. Apply 5/8" GWB type X to 5/8" x 1 5/16" metal studs on edge. Enclose pipes as req'd. Follow MFG recommendations for drywall screws. Use USG approved glue and/or USG approved fasteners.
Sim 1: 2-Hr. Partition: Provide 2 Layers of 5/8" GWB Typ. for each side. UL #420
- Cabinet Partition**
3/4" x 48" Grade Interior Plywood. Paint Grade Sanded & Smooth. (Modified as Per Other Notes.) Use USG approved glue and/or USG approved fasteners.
- Exterior 2x6 Stud Wall**
Interior: One layer 5/8" GWB wallboard type X applied to interior side of 5 5/8" metal studs (16 gauge) 16" o.c. with 1" type S drywall screws 8" o.c. to vertical edges, and 12" o.c. to intermediate studs. Spackle [3] Coats, Pt. [2 coats min.] and/or finish as indicated. Use USG approved glue and/or USG approved fasteners.
Exterior: One layer 5/8" Denser Glass Gold applied parallel to 5 5/8" metal studs (16 gauge) 16" o.c. with 1" type S drywall screws 8" o.c. to vertical edges, and 12" o.c. to intermediate studs. 1" Fibi Backed Ripstap System Installation as Per MFG Recommendation. Fr 3 1/2" Mineral Fiber Batts in Stud Cavity. Finish As Indicated. Use USG approved glue and/or USG approved fasteners.
- Storefront**
See Details on Wall Type 1 - Page A4.10
- Block Wall**
Concrete Block Wall UL #914
Sim 1: Use 6" Wide CMU Units
Sim 2: Use 8" Wide CMU Units
Sim 3: Use 10" Wide CMU Units
Sim 4: Use 12" Wide CMU Units
- Poured Concrete Foundation Wall**
- Insulated Wall (Refrigerator W.I. Box)**

Zoning Information

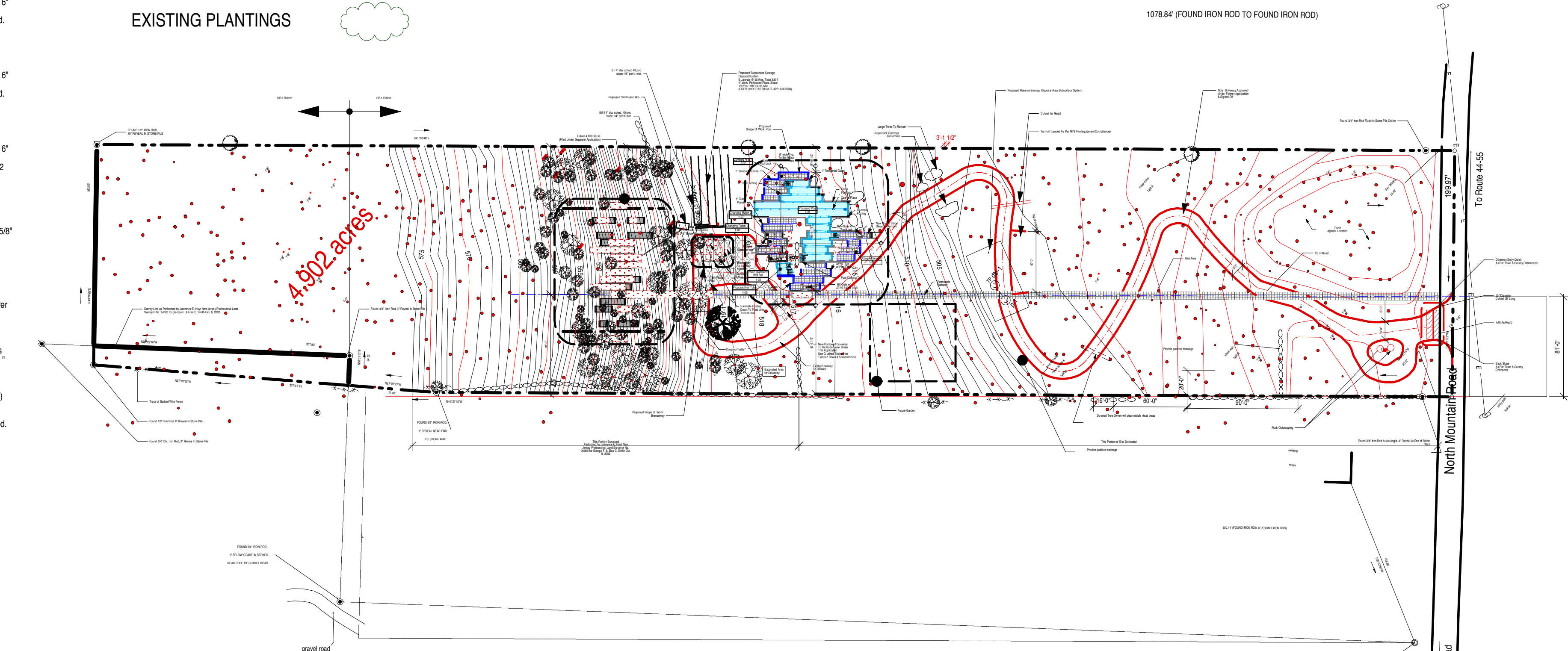
Lot #: ?
Block #: ?
Map #: N/A
Floor/Suite#: N/A
Zoned: SP-1
Construction Type: N/A
Occupancy Type: Residential
Use Group: N/A
Gross S.F.: 4.90 Acres x 43,560 s.f.=111,513.60
Rear Yard Setback: 150'-0"
Side Yard Setback: 40'-0" (narrowest side yard)/
50'-0" (other side yard)
Front Yard Setback: 230'-0"
Wetlands Setback: 35'-00"
Wetlands Septic System Setback: 60'-0"
Lot Area: 4.902 Acres
Plate Height: N/A
Existing Habitable Rooms: N/A
Proposed Habitable Rooms: N/A
Landmark: No

Index of Drawings

- T-001.00 - Cover Sheet
- C-001.00 - Demolition Plan
- C-002.00 - Site Plan
- C-003.00 - Pool Section
- C-004.00 - Overall Site Plan
- C-005.00 - Excavation Plan
- A-001.00 - Pool Plan

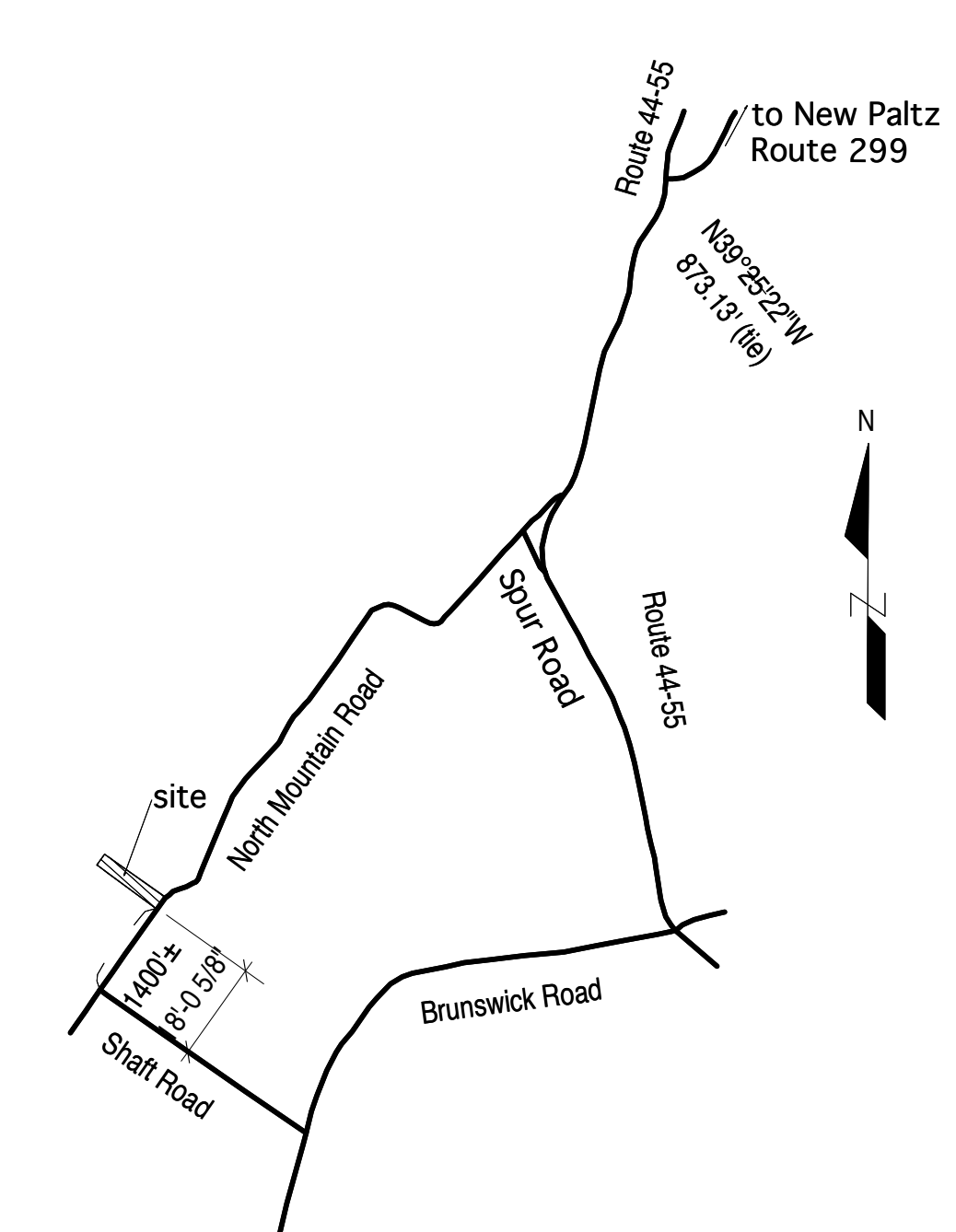
LEGEND

EXISTING CONTOURS	
NEW CONTOURS	
DEMO CONTOURS	
EXCAVATED AREA	
EXISTING TREES	
SEWER CONNECTION	
NATURAL GAS LINE	
SETBACKS	
WETLANDS SETBACKS	
REMOVING TREES	
EXISTING PLANTINGS	

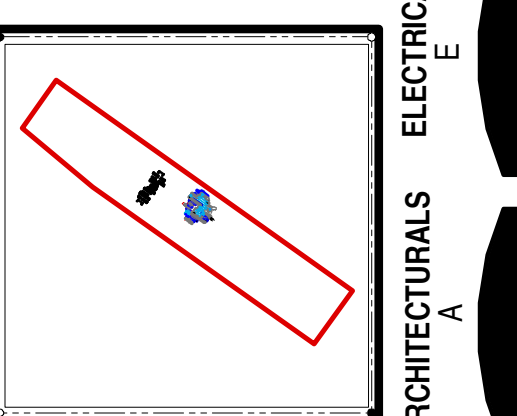


1 Master Site Plan
T-001 1:800

Location Map
scale: 1"=2000'



DATE:	2.11.14
REV.#:	1
ISSUE:	For D.O.B. Submittal



10GR13
As-Noted
01.24.14
1 of 8

COVER SHEET
NOTES N
ZONING Z
DEMOLITION D
ARCHITECTURALS A
ELECTRICAL E
SCHEDULES X
RISER RR
T-001.00